

Frequently Asked Questions – Street Maintenance Projects

Why are you fixing my street?

The City of Bismarck's Engineering Department evaluates the roadway network and programs improvements that will either improve the conditions or increase the longevity of the roadway.

How will this project improve my streets?

As with any utility, continued maintenance is needed to maintain a reliable system or network. Over time the top layer of asphalt becomes weakened and susceptible to excessive cracking, rutting and eventually the formation of potholes. If the cracks and potholes are not repaired, moisture can enter the subgrade and accelerate the deterioration of the pavement.

In addition to maintaining or reconstructing the asphalt pavement, staff evaluates the curb, gutters, and driveways for excessive cracking and for settlement that could hold or pond. Using visual evaluations, survey profiles, and ADA (Americans with Disabilities Act) specifications, staff determine which concrete items need to be replaced in order to maintain positive drainage within the street in order to protect the subgrade from saturation.

How is my special assessment determined? Are property owners paying for all the costs of the project?

Street maintenance projects are funded through the combination of City revenues (sales tax and other sources) along with special assessments to the benefiting properties. Benefiting properties can include residential, commercial, and government-owned properties within a special assessment district.

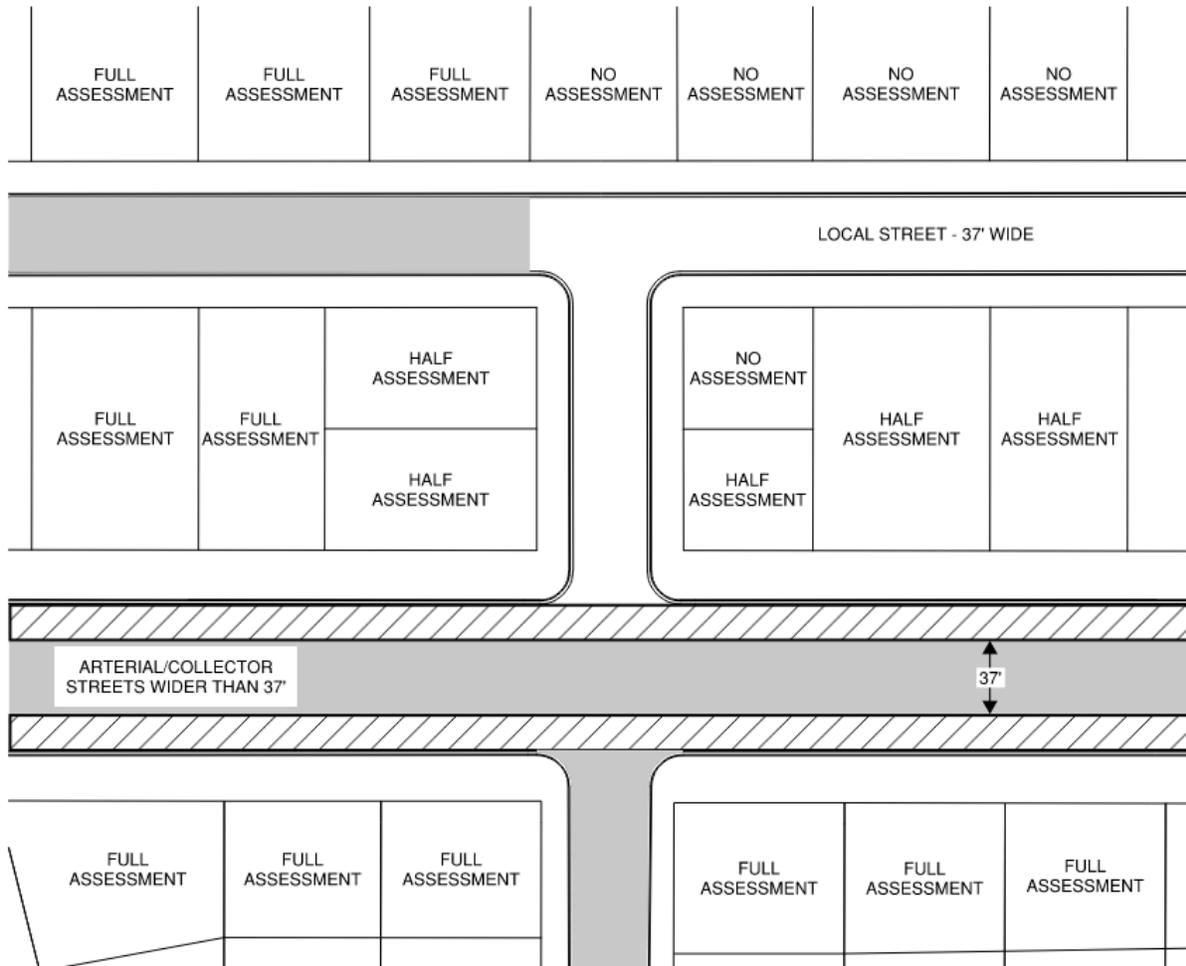
The total special assessment for the project is based on the total project costs less the City contribution. The special assessment assigned to each individual parcel follows the City of Bismarck's Special Assessment policy.



My property is adjacent to more than one street. How is my special assessment determined?

If all adjacent streets to a property are scheduled for improvement under the current project, this property is considered fully benefited from the improvement. If only a portion of the adjacent streets is scheduled for improvement, a proportion of the improved streets compared to the total adjacent street is used to determine the special assessment. For example, a residential property adjacent to two streets with only one improved, is assessed half of a typical assessment on this project with the other half reserved for a future project. For commercial properties, the proportion of the street frontage in the district to the overall street frontage of that property is applied to the square footage of the property included in the district. The remaining square footage would be included in another district. An example of this concept is shown on an exhibit on the reverse of this document with some properties receiving a full assessment while others are a half assessment.

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LEGEND

-  COSTS PAID 100% BY THE CITY
-  COSTS ASSESSED AFTER RECEIVING SUBSIDY BY THE CITY



For more information see <https://www.bismarcknd.gov/2087/Special-Assessment-District-Information>